



## Douglas Crescent, , Hayes, UB4 9BT

- Ground Floor
- Immaculate Condition
- Brand New Bathroom
- External Storage Unit
- Approx. Gross Rental Yield of 6.4%
- One Bedroom Flat
- Brand New Kitchen
- Large Reception Room
- Communal Garden Areas
- EPC Rating: C

**Asking Price £235,000**



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## DESCRIPTION

An immaculate, one bedroom ground floor flat offered for sale in Douglas Crescent, North Hayes. The property has been recently renovated throughout, ready to move into for its new occupiers. Ideal for first time buyers looking to get on to the property ladder or a long term buy to let investment with a gross rental yield of 6.4% per annum.

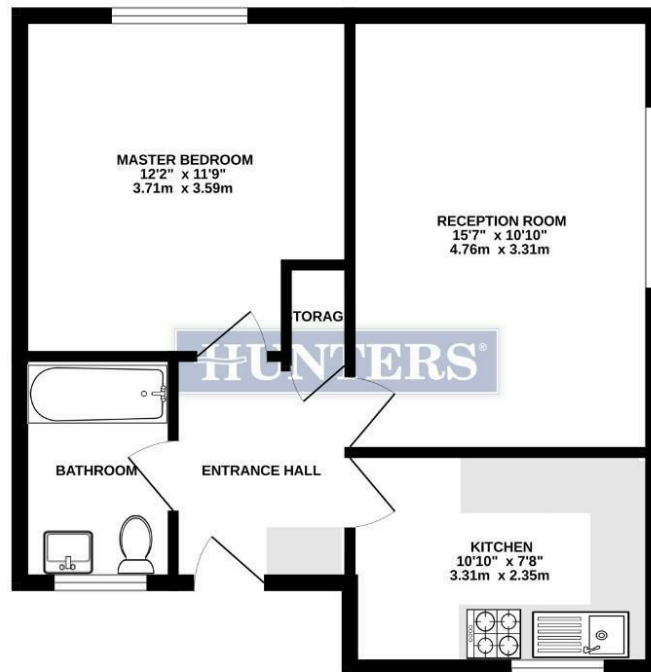
The property comprises entrance hall, brand new modern fitted kitchen, large reception room, spacious master bedroom, brand new three piece bathroom suite and a separate integral storage unit. Outside, the property has communal gardens with an external storage unit and there is parking available on street with no restrictions.

Douglas Crescent is situated in North Hayes off Willow Tree Lane and is walking distance to amenities and transport links. You are a short drive away from the A312/A40 dual carriageway links providing greater access into London along with Heathrow Airport and motorway links. Northolt and Hayes and Harlington train stations are also accessible via commute servicing the Metropolitan, Piccadilly and Elizabeth Lines.





GROUND FLOOR  
492 sq.ft. (45.7 sq.m.) approx.



TOTAL FLOOR AREA - 492 sq.ft. (45.7 sq.m.) approx.  
While every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or misstatement. The plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
Made with Microplan 2002/4

### Viewings

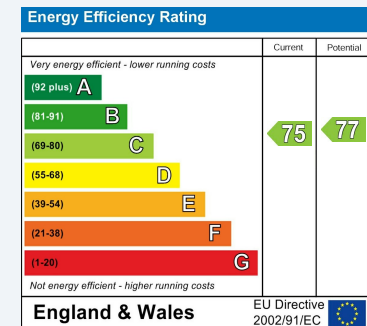
Please contact [hayes@hunters.com](mailto:hayes@hunters.com), if you wish to arrange a viewing appointment for this property or require further information.

### Valuations

For a valuation of your property, please email the team with your property details, contact information and the times you are available.

## ENERGY PERFORMANCE CERTIFICATE

The energy efficiency rating is a measure of the overall efficacy of a home. The higher the rating the more energy efficient the home is and the lower the fuel bills will be.



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate.

**THINKING OF SELLING?** If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.